



**Front Garage Homes  
Architectural Design  
Guidelines**

**JUNE 30, 2020**

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Developer	Anthem United	Ph: 780-421-7272 Edmonton@anthemunited.com	Emily Dyck	412 10339 - 124 Street Edmonton, AB T5N 3W1
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Engineers	Stantec	Ph: 780.969.3312 Nathan.eriksson@stantec.com	Nathan Eriksson	10160 - 112 St Edmonton, AB T5K 2L6
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Architectural Applications	Windward Landtec Inc.	Ph: 780-454-6799 Fax: 780-454-6896 info@windwardlandtec.com www.windwardlandtec.com	Ray Jacobson	12128 - 121A Street Edmonton, AB T5L 0A4
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Surveyor	Stantec Geomatics	Ph: 780.917.8850 Joel.corcoran@stantec.com	Joel Corcoran	10160 - 112 St Edmonton, AB T5K 2L6
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Solicitor	Combe & Kent	Ph: 780.425.4666 Fax: 780.425.1233	Bob Kent	10614 - 124 Street Edmonton, AB T5N 1S3
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## 1.0 OBJECTIVE

The following Architectural Guidelines have been compiled to assist you in problem free construction. We have taken steps to ensure that this information and engineering plans cover all aspects of design and construction to minimize problems prior to construction.

## 2.0 CONCEPT

The Architectural Guidelines are designed to provide visual control for the building massing, siting, style and colour, and to obtain the best possible streetscape appearance. Alternate exterior treatments may be requested to reinforce the streetscape. Emphasis will be concentrated on trying to create a strong “CURB APPEAL” to each home through attention to detail on the front elevation. In addition, the landscaping requirements will form a strong complement to the proposed tree lined boulevards. A heavily landscaped front yard will be a requirement to ensure a mature streetscape for the neighborhood.

## 3.0 DISPUTES

Should any questions or disputes result from individual concerns; the Developers decision will be final.

## 4.0 DESIGN GUIDELINE

The objective of these architectural guidelines is to achieve a high standard of visual appeal for the immediate and long-term benefit of the homeowner.

### 4.1 House Design House sizes

Standards and approvals recognize the specific size, nature and location of a site and the desire to avoid extremes. Consideration is also given to optimizing sight lines and creating acceptable size transitions between adjacent homes and areas.

Massing of the pocket width is also required. The house alone width must not deviate more than 4' from the pocket width. The combined house & garage width must not be less than 2; of the pocket width. An offset to the garage may be required to achieve this. Pie-shaped and reverse pit shaped lots may be reviewed on a lot by lot basis. Exceptions may be permitted for showhome parade.

### 4.2 Garages, Driveways & Outbuildings

All houses must be completed with a double attached front garage with a minimum driveway width full width of garage. All garages shall be designed to complement the house and be an integral portion of the house design

Locate garages as per designated by the developer on the subdivision information.

Graveled or paved driveways are prohibited, poured in place broomed concrete must be used.

The maximum distance between the top of the overhead door and the eave line should not be more than 24" without the addition of an architectural feature such as a louver or banding detailing.

### 4.3 Repetition

The same house plan/model shall be separated by 2 lots (XaoX) on the same side of the street and the same model will not be allowed directly across the street.

This may be altered at the discretion of the ADC if it can be shown that the two houses in question are located so as not to be visible together from any given angle. While similar house plans and elevations are inevitable it is however possible to vary the design by changing the roof lines, design, size and location of windows and doors, etc. Revised elevations will be required so that an accurate set of files can be kept for each lot.

## 4.4 Colours

Similar colours must be separated by 2 adjacent lots (XaoX) on the same side of the street. The developer & ADC reserve the right to approve or reject any colour scheme or suggest reasonable changes in keeping with the general intent of these guidelines.

- Contrasting accent colours are required
- No adjacent homes will be permitted to have the same body & trim colours.
- Same soffit, fascia, eave colour will NOT be permitted on adjacent lots
- Matching body & soffit/fascia/eave colour will not be allowed.
- Garage doors must be painted to be the same colour as the prominent body colour.

Intense shades, such as blue, red, yellow, and green are highly discouraged on the main body of the house. Such intense colours will be reviewed on a lot by lot basis at the discretion of the ADC.

## 4.5 Corner Lots / High Visibility

Corner lots have greater public visibility because of a second front elevation. For a successful home design on a corner lot (or other high visibility elevation), the appropriate front elevation treatment must continue onto the flanking or rear elevation. Therefore, special attention must be paid to side and rear elevations and side yard setbacks on all corner or high visibility lots. The side or rear high-profile elevations should have the same treatment, i.e. box outs, detailed battens, stone/brick, as the front elevation, as it can be even more visible than the front elevation from the street. Modifications to side and rear elevations may be required where it is felt that the objective of the development has not been achieved.

Two-storey plans will be allowed on corner lots.

No side drive garages will be allowed.

## 4.6 Exteriors

Acceptable exterior finishes include, vinyl siding, Hardie Board, full face brick or stone, cultured stone, stone tile OR combination. No stucco permitted, no false fronts allowed.

When vinyl is the predominate finishing material on the front elevation the following is required:

- Brick or stone is mandatory on vinyl elevations.
- ALL front elevation windows require detailing i.e. battens, shutters or shadow sills. This detail is to be in a colour contrasting to the body colour.
- All window & door openings require trim detail.
- No metal corners allowed.

Grills or muntin bars ARE MANDATORY on all finishes (for front and flankage elevations).

Parging maximum height is 2' above grade on all elevations visible from the front street, includes side elevations ahead of the fence tie-back line, full length of side elevation on corner lots & rear elevations on lots backing onto the park with rear chain link fencing. On walk out lots parge line must be kept on ALL elevations.

Retaining walls/wing walls or any retaining structures that may be required are the full responsibility of the builder/home owner.

Gable roof lines, for front and flankage elevations require gable upgrading i.e. shadow board, decorative shakes, scallops etc.

Entrance material, on any front elevation verandas or stairs may be pre-cast or wood, if wood only decking & stairs/risers may be pressure treated, however any trim i.e.) railings, caps & posts, lattice, must be stained, painted or pre-finished prior to final inspection.

Entrance risers are to be kept to a minimum. No more than four risers per set will be allowed at the entrance any further that may be required must be placed in the run of the walk. Risers must be shown on plot plan submitted for approval.

Specific detail, all homes are to have a minimum single sidelight at entrance OR at minimum half glass in front entrance door.

Stone or brick –must be a minimum of 3' in height complete with minimum 24" return onto side elevation.

In addition to window detailing & brick, masonry or stone, one additional feature is required on high

profile elevations, such as:

- Belly band
- Rake head or half round window
- Decorative columns
- Bay, box or cantilevered window
- Ladder detail
- Gable shadow boards
- Railing at entrance
- Two or more decorative louvers
- Decorative shakes or scallops

Specific rear elevation detail will be required on lots backing onto a park, pond, or main roadway if applicable.

#### **4.7 Roof and Chimney**

Roof pitch must be a minimum 6:12 pitch on 2-storey models. Bungalow styles require a minimum 7:12 pitch. Porch and garage roofs will be considered at a minimum 5:12 if the roof impedes with the 2nd floor windows and will be reviewed on a lot-by-lot basis.

Roof material must be asphalt architectural/dimensional shingle

Mandatory Manufacturer – Malarkey  
Series - Highlander CS – 30 year  
Colour options – Natural Wood or Weathered Wood

Or Manufacturer – BP  
Series – Harmony – 35 year  
Colour options – Weathered Rock or Stonewood

Or Manufacturer – IKO  
Series – Cambridge – 35 year  
Colour options - Charcoal Grey or Driftwood

Roof overhangs must be a minimum roof 18" on all levels for most house styles or in proportion to the home where a specific architectural style is desired.

Fascia boards are to be minimum 8" on all models. Fascia colour to be complementary to the home's colour palette.

Chimney's & flues are to be finished in the same predominant finish as the house. Corbel detailing is mandatory. No more than 24" of exposed pipe to extend above the enclosure.



## 5.0 LANDSCAPING AND FENCING

The builder must take a \$1,000 landscaping security deposit from the homeowners (including spec/model homes), which is to be held until the property passes a landscaping inspection by the ADC. Completion of the landscaping is to be completed within one year of occupancy (weather permitting). Refer to Landscaping Requirements document for further detail on fencing and landscaping requirements.

### Front yard landscaping

The developer mandates that the front yard landscaped ahead of the fence tie-back line with the following requirement:

- Sod to the fence tie back line
- Minimum of one tree AND six shrubs

Minimum tree and shrub size requirements:

- 1.5" caliper if deciduous (leaf-bearing)
- 5' in height if coniferous (spruce or pine). Pyramid cedars & upright junipers will not be accepted as coniferous trees
- Shrubs must be no less than 12" in height if global variety or 12" in diameter if a spreading variety
- Plant measurements are at the time of planting.
- Caliper measurements are measured 12" up from ground cover.
- City / developer trees cannot be used as part of the landscaping requirement.
- Alternative landscaping will be considered on an individual lot basis if it can be demonstrated that the alternate plan meets the objective of the standard sod ground cover objective previously noted in these guidelines to achieve greenery in all front yards within the neighborhood.

In order for a resident to obtain approval for landscaping varying from the architectural guidelines, the resident must contact their builder and submit a detailed sketch of the landscape plan. The builder will then send the plans to the Architectural Consultant for review (up to \$150.00 plus GST will apply). The sketch must include the following:

1. Legal land description: Block/Lot/Plan
2. All materials that will be used in the landscape – including mulch, stones etc.
3. Variety of tree (if any)
4. Variety of shrubs (if known), and identification of coniferous or deciduous

## Fencing

- Individual lot fencing to be wood screen fence, as per diagram attached.
- Stain to be “Fawn” by Cloverdale Paint, solid wood stain, as reflected on the diagram.
- No chain link fencing will be allowed other than what is installed by the developer. Chain link may be required on high-profile lots at the rear.
- Fencing on common property lines must be overlap board wood screen fencing (as per diagram attached) OR chain link from the front fence tie back line to the rear of the home.

## Lots backing onto space with developer installed chain link fencing

- Fencing on common property lines must be overlap board wood screen fencing (as per diagram attached) OR, chain link from the front fence tie back line to the rear of the home.

From the rear of the home to the rear property line fencing must be chain link matching the colour & design of the developer chain link fencing along the rear property line.

## 6.0 RECREATIONAL AND COMMERCIAL VEHICLES & SATELLITE DISHES

Commercial vehicles over one ton are not permitted in the development. Recreation vehicles and commercial vehicles of one ton capacity or less shall not be stored in the front yard or driveway of any property between the building line and the curb. If otherwise stored on site, the vehicles shall be housed in a garage or screened with plantings to reduce unattractive visibility of such vehicles from abutting streets and adjacent homes.

satellite dishes or other electronic equipment must not be larger than one meter in diameter and must not be visible from the street. Any roof top equipment must not exceed zoning height restrictions by the City of Edmonton.

## 7.0 SITING

### 7.1 Consultant

Check with the Architectural Consultant for all applicable drawings, and any special conditions.

### 7.2 City Regulations

Ensure that city regulations are met and note relevant plans regarding utilities and rights of way.

### 7.3 Grading

Check Building Grade Plans and conform to them. Do not grade to existing vacant lots or unfinished lanes, but to elevations provided.

### 7.4 Plot Plans

Plot plans must include the following:

- Scale 1:300 metric.
- North arrow.
- Municipal address.
- Legal description of property.
- All property lines designated and dimensioned.
- Size and location of proposed building(s) dimensioned to property lines, existing building and other structure where applicable.
- All cantilevers (including floor, bay windows, fireplaces, eaves, etc.).
- Abutting streets, avenues, reserves, etc. Easements and utility right-of-way labeled and dimensioned, accurately figured, explicit and complete.
- Spot elevations around building and drainage directions.
- Dimensions from property line to sidewalk and face of curbs.

## 8.0 SUBDIVISION APPEARANCE

### 8.1 Signage

In order to maintain cohesiveness for signage within the subdivision, all signage will be supplied by the Developer, i.e., all model signs, directional signs and general information signs. The only signage to be supplied by the Builders Group will be on lots owned or sold by that Builder. Excessive abuse of signage, including sandwich boards may necessitate removal of ALL Builder's and Realtor's signs.

### 8.2 Excavation Material

All Builders must ensure that all excavation is kept within the confines of their lot. Any spillage on a road, lane, sidewalk or neighbouring lot must be removed immediately or the Developer will arrange for its removal and invoice for expenses.

### 8.3 Clean Up

Builders should encourage timely removal by all subtrades of litter on building sites. Builders will be provided with a 48-hour notice period; failure to comply will result in a clean-up bill being charged to the lot. Supply of bins by the Builder is recommended. Any general clean-up of the subdivision implemented by the Developer can and will be charged pro-rata to all builders.

### 8.4 Construction Activity

Each Builder is responsible for inspecting the condition of curbs, sidewalks, street lights, services, etc. on his lot and must submit written notice of any damages to the Developer prior to commencing construction; otherwise costs for repairing any damages become the sole responsibility of the Purchaser.

## 9.0 APPROVAL PROCESS

Prior to building the Builder inspects the lot and all services. All discrepancies or damages to be reported in writing with the application.

Before applying to the City for a development permit, the applicant shall submit plans for approval of Windward Landtec Inc. Applications shall include the following:

- a) Two complete sets of house plans;
- b) Plot plan, prepared by Stantec Geomatics, showing lot house grades and drainage pattern, floor and garage elevations; and
- c) Completed application form.

Windward Landtec will review the plan and recommend approval, modification, or rejection of the application based on the adherence of the plans to these guidelines. This decision should be made within three days of submission. Should disputes arise, the Developer shall make the final decision on the acceptability of plans.

Once approved, Windward Landtec will send a copy of the application indicating any changes to the applicant. After approval, the plans may not be altered without prior approval of Windward Landtec. Windward Landtec will keep an up-to-date record of plans showing house types, colour, rooflines and grades, to advise the applicants of how their proposed house will best fit into the existing situation.

The applicant is responsible for notifying WINDWARD LANDTEC INC. that the house is complete and ready for inspection. This notice must be in writing and contain a lot grading certificate, signed by an A.L.S., certifying that the lot has been graded as per approved lot grading plan provided by Pal's Geomatics. In addition, the applicant must obtain a lot grading inspection report from the City of Edmonton Drainage Branch and provide it to Windward Landtec Inc. Construction will be inspected once completed to ensure compliance with these guidelines. If the lot-grading certificate is in order and the landscaping is acceptable, the landscape deposit will be refunded in full.

No stakeout will be granted until approved by Windward Landtec Inc.

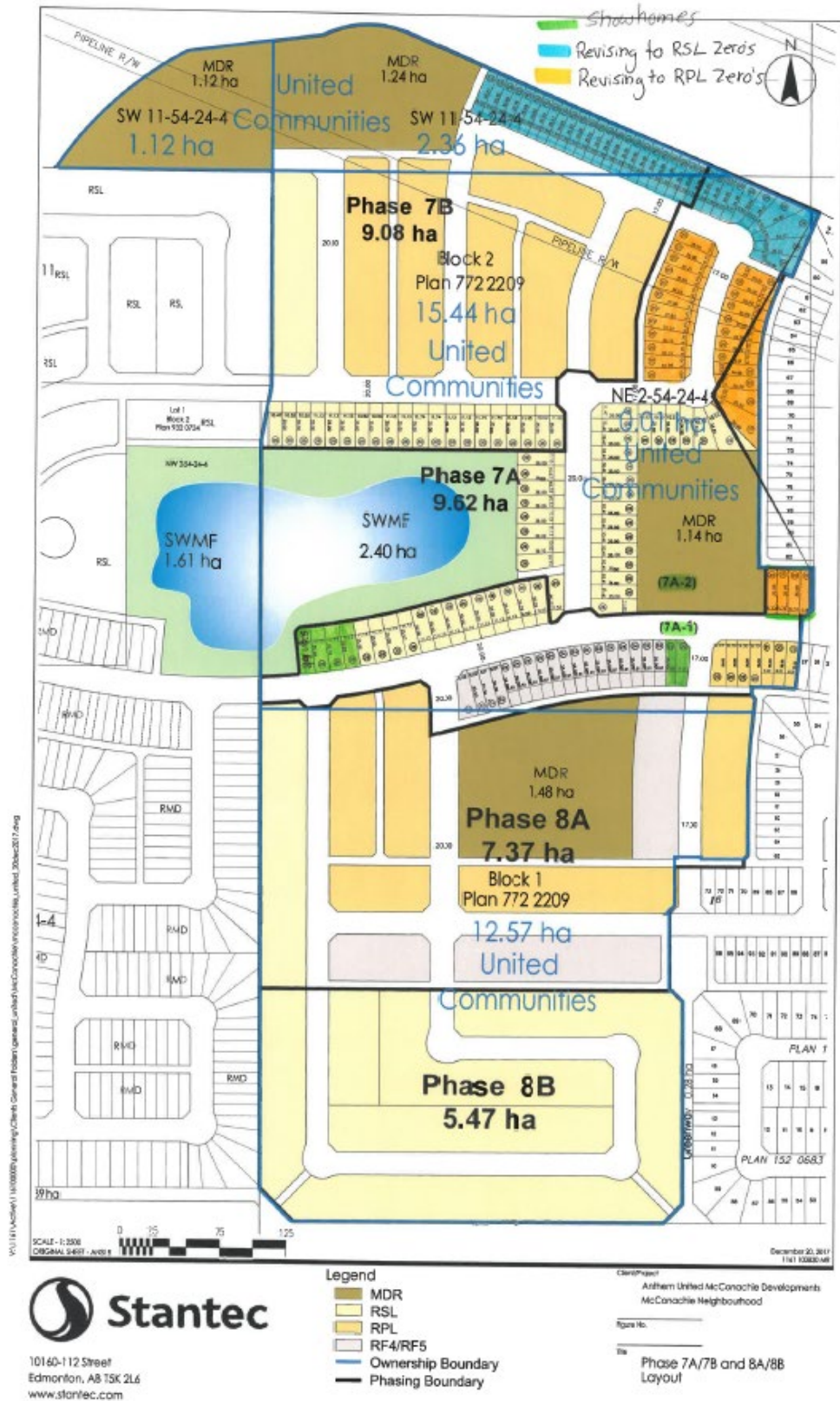
## 10. DAMAGE DEPOSITS

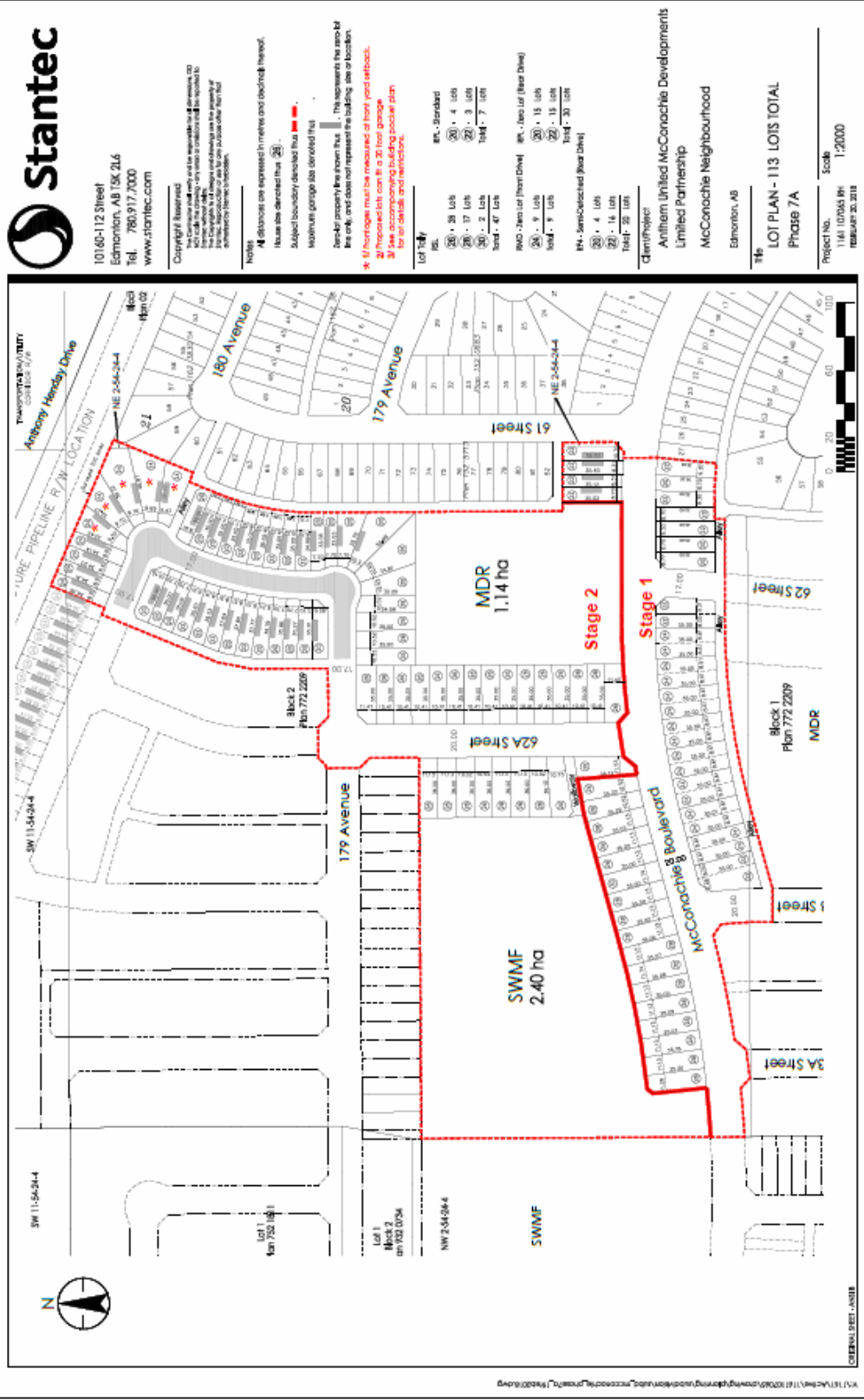
A damage deposit in the form of a Letter of Credit in the amount of \$5,000 (regardless of the number of lots) is due prior to house plan and grade approval to cover:

1. Contravention of architectural objectives.
2. Possible damage to:
  - a) Curb stop - water valve
  - b) Sidewalks, curbs and gutters
  - c) Driveway aprons and asphalt
  - d) Boulevard landscaping and trees
  - e) Rear gutters and walkways
  - f) Light standards
  - g) Fire hydrants
  - h) Cathodic Protection points
  - i) Grading and drainage swales
  - j) Fencing

### 10.1 Damage Deposit Return Procedure

1. Exterior completed in accordance with these guidelines and as approved by the architectural consultant.
2. Final grading completed, and landscaping completed satisfactorily.
3. Grading Inspection Report from the City of Edmonton Drainage Branch.
4. Water valve exposed and marked.
5. Sidewalks, street, lanes, gutters and curbs cleaned.
6. Applications made in writing to WINDWARD LANDTEC INC.





**Stantec**  
10160-112 Street  
Edmonton, AB T5K 2L6  
Tel. 780.917.7000  
www.stantec.com

**Notes:**  
All distances are expressed in metres and decimal thereof.  
Areas are denoted thus: (35)  
Subject boundary denoted thus: ---  
Maximum garage size denoted thus: ---  
Boundary property line shown thus: ---. This represents the area to be surveyed and shown on separate including, but not limited to:  
\* If horstages must be measured of front yard setbacks.  
\* Proposed lots with a 20 foot garage.  
\* For all details and restrictions, refer to the site plan.

Lot 141

Lot	Area
141	Standard
142	28 x 4 Lots
143	17 x 3 Lots
144	7 x 1 Lot
145	4 x 1 Lot
146	9 x 1 Lot
147	15 x 1 Lot
148	20 x 1 Lot
149	25 x 1 Lot
150	30 x 1 Lot
151	35 x 1 Lot
152	40 x 1 Lot
153	45 x 1 Lot
154	50 x 1 Lot
155	55 x 1 Lot
156	60 x 1 Lot
157	65 x 1 Lot
158	70 x 1 Lot
159	75 x 1 Lot
160	80 x 1 Lot
161	85 x 1 Lot
162	90 x 1 Lot
163	95 x 1 Lot
164	100 x 1 Lot
165	105 x 1 Lot
166	110 x 1 Lot
167	115 x 1 Lot
168	120 x 1 Lot
169	125 x 1 Lot
170	130 x 1 Lot
171	135 x 1 Lot
172	140 x 1 Lot
173	145 x 1 Lot
174	150 x 1 Lot
175	155 x 1 Lot
176	160 x 1 Lot
177	165 x 1 Lot
178	170 x 1 Lot
179	175 x 1 Lot
180	180 x 1 Lot
181	185 x 1 Lot
182	190 x 1 Lot
183	195 x 1 Lot
184	200 x 1 Lot
185	205 x 1 Lot
186	210 x 1 Lot
187	215 x 1 Lot
188	220 x 1 Lot
189	225 x 1 Lot
190	230 x 1 Lot
191	235 x 1 Lot
192	240 x 1 Lot
193	245 x 1 Lot
194	250 x 1 Lot
195	255 x 1 Lot
196	260 x 1 Lot
197	265 x 1 Lot
198	270 x 1 Lot
199	275 x 1 Lot
200	280 x 1 Lot
201	285 x 1 Lot
202	290 x 1 Lot
203	295 x 1 Lot
204	300 x 1 Lot
205	305 x 1 Lot
206	310 x 1 Lot
207	315 x 1 Lot
208	320 x 1 Lot
209	325 x 1 Lot
210	330 x 1 Lot
211	335 x 1 Lot
212	340 x 1 Lot
213	345 x 1 Lot
214	350 x 1 Lot
215	355 x 1 Lot
216	360 x 1 Lot
217	365 x 1 Lot
218	370 x 1 Lot
219	375 x 1 Lot
220	380 x 1 Lot
221	385 x 1 Lot
222	390 x 1 Lot
223	395 x 1 Lot
224	400 x 1 Lot
225	405 x 1 Lot
226	410 x 1 Lot
227	415 x 1 Lot
228	420 x 1 Lot
229	425 x 1 Lot
230	430 x 1 Lot
231	435 x 1 Lot
232	440 x 1 Lot
233	445 x 1 Lot
234	450 x 1 Lot
235	455 x 1 Lot
236	460 x 1 Lot
237	465 x 1 Lot
238	470 x 1 Lot
239	475 x 1 Lot
240	480 x 1 Lot
241	485 x 1 Lot
242	490 x 1 Lot
243	495 x 1 Lot
244	500 x 1 Lot
245	505 x 1 Lot
246	510 x 1 Lot
247	515 x 1 Lot
248	520 x 1 Lot
249	525 x 1 Lot
250	530 x 1 Lot
251	535 x 1 Lot
252	540 x 1 Lot
253	545 x 1 Lot
254	550 x 1 Lot
255	555 x 1 Lot
256	560 x 1 Lot
257	565 x 1 Lot
258	570 x 1 Lot
259	575 x 1 Lot
260	580 x 1 Lot
261	585 x 1 Lot
262	590 x 1 Lot
263	595 x 1 Lot
264	600 x 1 Lot
265	605 x 1 Lot
266	610 x 1 Lot
267	615 x 1 Lot
268	620 x 1 Lot
269	625 x 1 Lot
270	630 x 1 Lot
271	635 x 1 Lot
272	640 x 1 Lot
273	645 x 1 Lot
274	650 x 1 Lot
275	655 x 1 Lot
276	660 x 1 Lot
277	665 x 1 Lot
278	670 x 1 Lot
279	675 x 1 Lot
280	680 x 1 Lot
281	685 x 1 Lot
282	690 x 1 Lot
283	695 x 1 Lot
284	700 x 1 Lot
285	705 x 1 Lot
286	710 x 1 Lot
287	715 x 1 Lot
288	720 x 1 Lot
289	725 x 1 Lot
290	730 x 1 Lot
291	735 x 1 Lot
292	740 x 1 Lot
293	745 x 1 Lot
294	750 x 1 Lot
295	755 x 1 Lot
296	760 x 1 Lot
297	765 x 1 Lot
298	770 x 1 Lot
299	775 x 1 Lot
300	780 x 1 Lot
301	785 x 1 Lot
302	790 x 1 Lot
303	795 x 1 Lot
304	800 x 1 Lot
305	805 x 1 Lot
306	810 x 1 Lot
307	815 x 1 Lot
308	820 x 1 Lot
309	825 x 1 Lot
310	830 x 1 Lot
311	835 x 1 Lot
312	840 x 1 Lot
313	845 x 1 Lot
314	850 x 1 Lot
315	855 x 1 Lot
316	860 x 1 Lot
317	865 x 1 Lot
318	870 x 1 Lot
319	875 x 1 Lot
320	880 x 1 Lot
321	885 x 1 Lot
322	890 x 1 Lot
323	895 x 1 Lot
324	900 x 1 Lot
325	905 x 1 Lot
326	910 x 1 Lot
327	915 x 1 Lot
328	920 x 1 Lot
329	925 x 1 Lot
330	930 x 1 Lot
331	935 x 1 Lot
332	940 x 1 Lot
333	945 x 1 Lot
334	950 x 1 Lot
335	955 x 1 Lot
336	960 x 1 Lot
337	965 x 1 Lot
338	970 x 1 Lot
339	975 x 1 Lot
340	980 x 1 Lot
341	985 x 1 Lot
342	990 x 1 Lot
343	995 x 1 Lot
344	1000 x 1 Lot

**Client/Project:**  
Anilhem United McConachie Developments  
Limited Partnership  
McConachie Neighbourhood  
Edmonton, AB

**Title:**  
LOT PLAN - 113 LOTS TOTAL  
Phase 7A

**Project No.:**  
1141-103045-01  
FEBRUARY 20, 2018

**Scale:**  
1:2000



## Approved roofing products and colours for McConachie Front Garage Homes

Certainteed	Landmark LT (Lifetime)	Weatherwood, Moire Black Georgetown Grey, Heather Blend
GAF	Tmberline HD	Weatherwood, Charcoal, Slate Pewter Grey, Mission Brown Barkwood
GAF	Grand Sequoia	Weatherwood, Charcoal
IKO	Cambridge 30	Weatherwood, Driftwood, Charcoal Grey, Dual Black, Heatherwood
	Cambridge LT	Weatherwood, Driftwood, Charcoal Grey, Dual Black
	RoofShake 40	Weatherwood, Driftwood, Charcoal Grey, Dual Black, Heatherwood
BP	Harmony 30	Stonewood, Twilight Grey, Beachwood Dual Black
	Everest 40	Twilight Grey, Shadow Black, Antique Wood

Additional Colours and Manufacturers as approved by the Designated Consultant

## **CRAFTSMAN STYLE / ARTS & CRAFTS STYLE**

### *Overall Building Massing*

The Craftsman, or Arts and Crafts, style includes bungalows, 1½-storey and 2-storey designs with low pitched roofs. Roof overhangs are 1'6" minimum and 2'0" preferred. Verandas are integral and dormers emphasize the styling.

### *Roof Styles*

Permitted roof styles include cottage and gable roofs either side to side or front to back combinations. Roof pitches are 5/12 or greater than 8/12 with front facing inset gables.

### *Window Styles and Placement*

Windows have a vertical orientation: double hung or divided panes with grills in the upper sash while the lower sash is plain. Window surrounds are simple. Windows should be ganged in pairs at minimum.

### *Stone or Brick Profiles*

Brick, ledge stone and river rock are permitted and should be used on this style. Stone and brick may be applied at fireplace chases, columns, verandas and garages. Application in panel effect is discouraged. Stone tile is not acceptable finish for this style.

### *Exterior Cladding*

Craftsman style homes may be finished in brick or stone, siding or shakes. More than one dominant finish is used on each elevation, applied horizontally and separated by a wide trim board. Trims are generally painted, stained or metal clad.

### *Colors*

Colors suited to the Craftsman style include deep earth tones accented by heavy white trims. Colors may also be tone on tone.

### *Defining Details and Entrance Treatment*

Partial and full width verandas are a major element of the Craftsman style. Verandas often have a gable roof consistent in pitch and detailing with the main roof, and typically supported by massive tapered columns. The columns may be full height or half height resting on the veranda deck or extending from roof to ground. The base will be larger than the post and likely tapered in stone, shakes or a painted finish. Dormers and inset gables are finished in shakes, exposed beams or angle braces. Entry doors are simple in styling and include small glass panes.



## HERITAGE STYLE

### *Overall Building Massing*

All model types are included with an emphasis on grounded proportions where the eye is drawn to the street level. Roof slopes are moderate to high at 7/12 or greater. Roof overhangs are minimum 1'6" at moderate pitch and minimum 12" at higher pitch.

### *Roof Styles*

Permitted roof styles include hip or side to side and front to back gable. Front facing gables are clad in siding or shakes and are defined by shadow bands at the eaves.

### *Window Styles and Placement*

Windows have a vertical orientation and may include rectangular or elliptical transoms. Grills are installed in the entire pane or upper third. Heavy wood surrounds frame on all openings.

### *Stone or Brick Profiles*

Stone and brick are applied in a panel effect or as a substantial accent. When applied as an accent, the top edge is finished with a soldier course or heavy step trim.

Stone details should include base or columns and verandas. River rock is well suited. Stone tile is not appropriate when siding is used.

### *Exterior Cladding*

May be finished in brick/stone, siding or shakes. A combination of finishes is commonly used. All siding profiles must be lap board style. Cover profiles will not be permitted. Hardi Plank siding is preferred.

### *Colors*

Colors suited to the Heritage style include deep earth tones accented by contrasting heavy trims. White and light cladding colors are not suitable.

### *Defining Details and Entrance Treatment*

Entrances are covered at a level that encloses and protects the space, at the first level or at a proportionate height. The style, width and detailing of the entranceway creates a sense of arrival. Verandas are common. Columns are solid and substantial with wide base or step detail top and bottom.

Glass lights in traditional styling are commonly included at the overhead door. Entry doors are simple and often include square glass panes. Style definition borrows heavily from the Craftsman style with shakes, shutters and gable braces.



## **PRAIRIE STYLE**

### *Overall Building Massing*

Two storey or bungalow style will be permitted. The footprint is often L shaped. Roof slopes are to be low, 5/12 or less with wide overhangs and deep fascias. Two storey's have one storey porch or wing.

### *Roof Styles*

Characterized by a simple hip or side gable roof — Low Pitched — Hip Roofs

### *Window Styles and Placement*

Windows are large, organized and consistent in shape, often incorporating transoms. Windows are uncluttered by omission of grid patterns. Vertical windows in groupings.

### *Stone or Brick Profiles*

Brick is the most desired material for this style. Ledge stone is permitted. Both brick and stone are applied in panel effect. Brick is smooth, often applied with a rock face soldier course to emphasize the horizontal.

### *Exterior Cladding*

Prairie style homes may be finished in flat brick, often outlined with wood trim. Horizontal siding may also be used. Hardi Plank siding may be suitable.

### *Colors*

Colors suited to the Prairie style are mid to dark earth tones with monochromatic or darker contrasting trims.

### *Defining Details and Entrance Treatment*

Defining details are the horizontal presentation and simplified forms. The entry is typically recessed with side lights and is defined by approach. Entry doors are plain and may be oversized. Strong horizontal base and details emphasizing horizontal lines.





Suite 412, 10339-124 Street  
Edmonton, AB T5N 3W1  
Phone 780 421 7272  
edmonton@anthemunited.com

**anthemunited.com**